

ARCHITECTURAL REVIEW BOARD

DESIGN GUIDELINES

FOR THE

PEARL ROAD CORRIDOR

These Design Guidelines are adopted by the Architectural Review Board to assist in carrying out its duties in Chapter 1246 of the Codified Ordinances. All recommendations as outlined in these Design Guidelines are subject for review and revisions per each individual parcel and development project. The Architectural Review Board (ARB) will review and determine the final recommendations for each project. All developments shall conform to the City of Strongsville Codified Ordinances and the corresponding zoning district regulations. These design standards, defined herein, are intended to provide supporting and complementary design criteria that reinforce the quality and supporting amenities to promote a cohesive site design that ensures the integration of the characteristics of the buildings, site work, and infrastructure.

I. General Site Development – Non-residential or Mixed-use Building

A. Building Site Orientation

1. All building setbacks are to be in accordance with the Codified Ordinances of the City of Strongsville. Buildings shall be architecturally oriented to the main street or a public right-of-way and the main entrance shall be located on the street façade or facing the public right-of-way. Building entrances should be clearly identifiable. In cases where access is not permitted from a particular road or public right-of-way, the building shall not be required to face the subject road or right-of-way. Buildings located on an intersection should have the main entrance oriented toward the major street and any façade facing the side street shall have a similar finished architectural treatment.
2. Because of their increased visibility and exposure, buildings located on corners should incorporate additional architectural embellishments in their design.

3. Buildings located on out lots in front of shopping centers shall have a finished façade facing both the public right-of-way and the internal parking field for the shopping center. Building materials and colors for the out lot buildings shall be reflective of and compatible with the overall architectural treatment of the shopping center. Loading and service areas shall be screened from view.
4. Buildings should be designed to fit compatibly with surrounding buildings with regard to height and massing.
5. The ground floor of the multi-floor buildings should be designed to support retail businesses, personal services, and other uses that will encourage street level activities and conform to the Codified Ordinances.
6. Strip shopping centers and other multi-tenant buildings shall clearly identify entrances with architectural consistency throughout the building.
7. Pedestrian amenities should include interconnected sidewalks, landscaped open spaces, plazas and other features that cater to pedestrian needs, and add visual interest to the development. Site layout should minimize vehicle / pedestrian conflicts to the greatest extent possible.

B. Parking Orientation

1. While a principle of development is to place off-street parking to the side and rear of buildings, buildings are not required to have the majority of their parking in the rear yard. Parking lots shall generally be screened from view.
2. Access and circulation drives shall be designed to be of sufficient width and to have turning radii that properly accommodate safety and emergency vehicles.
3. Large parking fields shall be broken up with landscape islands to provide visual relief.

C. Fencing, Screening, and Buffer Requirements

1. The area between the public right-of-way and the edge of the proposed curb line of the parking lot should include a grassed landscape mound a minimum of three (3) feet in height for the entire length of the parking lot frontage. This grassed landscape mound shall include a black ornamental picket fence and a mix of tree, shrub, and perennial plantings along the entire parcel frontage. The ornamental picket fence material shall be aluminum, black in color, and a minimum of thirty-six (36) inches in height (Figure 1).

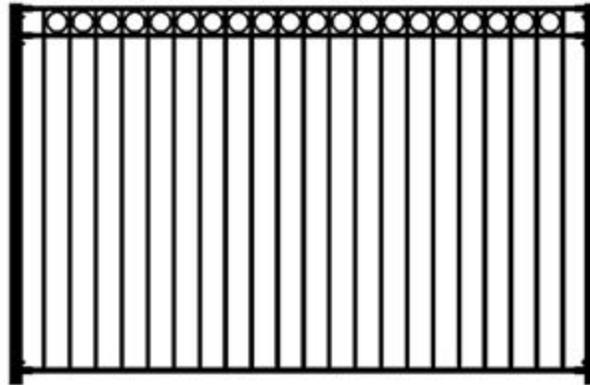


Figure 1

2. A continuous hedgerow of Dwarf Burning Bush (*Euonymus alatus* 'Compactus' –24" hgt.) is required along the fence on the street side. Trees are to be Thornless Honeylocust (*Gleditsia triacanthos inermis* -2 ½" minimum caliper). Perennial plantings are to be Daylily plantings (*Hemerocallis Stella d'Oro* or Happy Returns – No. 2 container). The Architectural Review Board may authorize substitute plant materials as deemed appropriate.
3. The layout of the fence and landscape can be either continuous or in sections and shall be designed and submitted to the City for review and approval. The ornamental picket fence shall incorporate either a brick or stone column (material to match the building material) at the end of the fence (Figure 2).

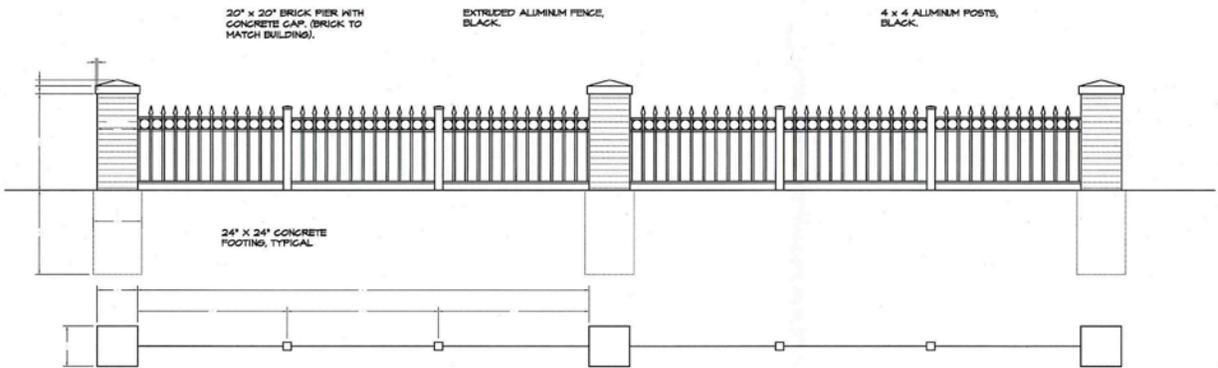


Figure 2

4. All dumpsters, mechanical equipment, service entrances, loading areas, and outdoor storage shall be located behind buildings and be screened in accordance with the Codified Ordinances subject to the recommendations and approval of the Architectural Review Board. Equipment located on a rooftop is permitted if screened in accordance with the Codified Ordinances and subject to Architectural Review Board recommendations and approval.
5. The construction materials and colors of walls and fences that are visible from any public right-of-way or visible from parking areas shall be uniform and compatible with the architectural style, color, and building materials of the principal building and its surroundings and as approved by the Architectural Review Board.

D. Site Lighting Requirements

1. All of the exterior lighting for each site and parking lots shall be the same design and black in color. Lighting shall be designed and oriented to eliminate light trespass on to adjacent properties and to minimize glare.
2. Building lighting can vary but is to complement the architecture and be black in color unless otherwise specifically authorized by the Architectural Review Board.

II. Building Design Requirements

All elevations of a building shall be subject to review and approval by the Architectural Review Board. Building materials shall be primarily brick and accented with stone, exclusive of glass or windows.

A. Building Materials and Colors

1. Buildings will consist primarily of brick construction with stone accents. Brick and stone will be the same on all buildings on a site. Stone can be used around the base, as an accent on the buildings, and on all columns. Building materials within the District shall be in the same color palette so as to match or be complementary.
2. The building design and materials used on the sides and rear of the buildings should be consistent with the design quality and materials along the main façade and/or street frontage.
3. Monument signage is to incorporate the same stone or brick used on the building with a stone base and stone columns or sides with a sandstone cap subject to review and approval by the Architectural Review Board.
4. Flat rooflines are permitted provided they are capped or terminate with the use of cornices, parapets, or some form of architectural emphasis along the roofline. Cornices may project from the wall plane and may be ornamented with moldings, brackets, or other details. Flat roofs should be avoided on one-story buildings.
5. Large buildings shall articulate their primary façades with various design features, such as strong shadow lines, changes in the roofline, patterns in the surface material and wall openings, to help reduce the overall scale and/or length of the building. The use of roofline articulation or mass divisions is encouraged and can be used to highlight entry points, exits, specialty areas, or separate places of business (Figure 3).

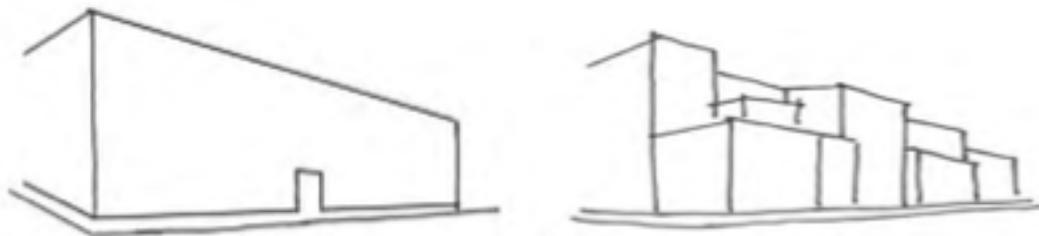


Figure 3

6. Mid sections of buildings may be horizontally divided at the floor, lintel, or sill levels with belt or stringcourses.
7. Second story windows should align with first story windows in order to make them more vertically proportionate.
8. Unfinished and industrial type materials such as exterior insulated finishes and standing seam or ribbed metal siding are not permitted, unless such materials are part of a roof structure or architectural feature, and the use of the materials is otherwise consistent with the overall quality and character of the building design.
9. Except for primarily glass facades, large expanses of “blank” walls (characterized by the use of a single material with all the elements of the wall on the same plain) shall be avoided by the use of (but not limited to):
 - a. Windows and architectural details;
 - b. Breaks and fluctuations in the overall rhythm of a building, which are used to draw attention to important areas such as the entry, or simply to relieve the monotony or uniformity of an otherwise blank facade.
 - c. Use multiple and contrasting building materials; however, the number of materials used should be kept to a minimum so as not to compete for attention and create a visually confusing building design.
 - d. Recessing windows slightly or expressing the building's structure to allow sunlight and shade to create a more three (3)-dimensional appearance.
 - e. Changes in rooflines.
10. The use of neon lights or bright colors for building materials shall be restricted or prohibited, unless otherwise determined by the Architectural Review Board based on the intent of these design criteria.
11. All vents, gutters, downspouts, flashing, electrical conduits, etc., shall match the color of the surface, unless approved by the Architectural Review Board to be used expressly as a trim or accent element.
12. The proposed building color scheme should help tie all of the parts of the building together. Typically, the color that is used in a storefront area should be repeated in the upper story windows or cornice area.

III. Existing Developments

The Architectural Review Board may vary the application of these Design Guidelines to existing developed parcels, if the Board determines that the guidelines are impractical for a particular developed parcel, or would involve a substantial hardship, financial or

otherwise to that parcel, and such variance would not cause a substantial detriment to the public welfare or to the intent and purposes of these Design Guidelines.

For purposes of these Guidelines, the Pearl Road Corridor shall include non-residential lots fronting on either side of Pearl Road from Sprague Road to Boston Road.